



CITY OF WEST HAVEN, CONNECTICUT
ZONING BOARD OF APPEALS

City Hall | 355 Main Street | Third Floor West Haven, Connecticut 06516-0312
Phone 203.937.3580 Fax 203.937.3742



CITY HALL 1898-1967

APPLICATION

APPLICATION FOR:

- ☒ VARIANCE EXISTING LOT
- ☐ COASTAL AREA MANAGEMENT APPROVAL
- ☐ SPECIAL USE EXCEPTION
- ☐ APPEAL OF DECISION OF ZONING ENFORCEMENT OFFICIAL

APPLICANT

NAME Bavaro Beach LLC

ADDRESS 53 Oldfield Rd., Fairfield, CT 06824

PHONE/EMAIL (203) 410-3326

PROPERTY OWNER

NAME Same as Applicant

ADDRESS _____

PHONE/EMAIL _____

PARTY TO BE NOTIFIED

ATTORNEY OR AGENT Vincent N. Amendola, Jr.

ADDRESS 11 Wagner Pl. West Haven, CT 06516

PHONE/EMAIL _____

LOCATION OF PROPERTY 792 Ocean Ave., West Haven Connecticut 06516

ZONE R-2

SECTION(S) OF ZONING REGULATIONS THAT IS APPLICABLE 11.1; 90.1; 90.2; and 90.3

DESCRIBE IN DETAIL THIS APPLICATION WITH SUPPORTING DOCUMENTS (SITE PLAN, FLOOR PLAN,BUILDING PLANS, BULK REQUIREMENTS AND NARRATIVE)

This application is to obtain variance relief to permit a first cut of 792 Ocean Ave., in order to form a new building lot and construct a single family residential dwelling upon it. Although the existing lot will be reduced in size, it will continue to harmoniously blend with the neighborhood. The applicant files for variance relief of the newly formed lot contemporaneously with this variance application.

HAS A PREVIOUS APPLICATION BEEN FILED FOR THIS PROPERTY?

☐ YES ☐ NO ☒ DON'T KNOW

IF YES, WHEN _____ ATTACH COPY OF DECISION LETTER

IS THE PROPERTY LOCATED WITHIN 500 FT OF ANOTHER TOWN ☐ YES ☒ NO

DOES THIS APPLICATION INVOLVE A BUILDING OR USE IN A HISTORIC DISTRICT?

☐ YES ☒ NO

DOES THIS PROPOSAL REQUIRE THE APPROVAL OF THE INLAND WETLAND

AGENCY? ☐ YES ☒ NO IF YES, PROVIDE A COPY OF THE APPROVAL

WHAT ARE THE VARIANCE REQUEST FOR THIS APPLICATION (USE ZONING REQUIREMENTS) SHOW REQUIRED, PROPOSED AND WHAT WILL EXIST

(1) Permit lot size variance of 5,400 ft.² where 16,000 ft.² is required and 10,800 ft.² exists. (2) permit a west side yard variance of 10 ft. where 15 ft. is required and 7.6 ft exist. (3) permit a east side yard variance of 10 ft where 15 ft. is required and 3.9 ft exists. (4) Permit a rear yard variance of 23.3 ft where 30 ft. is required and 132.1 ft. exists SEE ADDENDUM OF VARIANCES ATTACHED.

THE STRUCTURE (S) IS EXISTING ☒ PROPOSED

IF SEEKING A VARIANCE, DESCRIBE THE SPECIFIC LEGAL HARDSHIP OR CLAIMS THAT WILL SUPPORT THIS APPLICATION

The present hardship is caused by the change in the zoning regulations over time. The lots in this area existed before our zoning regulations were adopted. The regulations were amended a number of times over the years which causes exceptional difficulty to satisfy the requirements of the regulation and making development at times impossible without variance relief. The existing lot and its existing improvements continue to blend harmoniously with the the neighborhood.

PROVIDE FEES AS DETERMINED BY THE STAFF OF THE PLANNING & DEVELOPMENT DEPARTMENT

SUBMIT 13 COPIES OF COLLATED APPLICATIONS AND ALL SUPPORTING DOCUMENTS

CERTIFICATION:

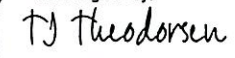
I/WE CERTIFY THAT ALL OF THE ABOVE INFORMATION AND STATEMENTS CONTAINED IN ANY DOCUMENTS SUBMITTED WITH THIS APPLICATION ARE TRUE TO THE BEST OF MY/OUR KNOWLEDGE.

I/WE FULLY UNDERSTAND THAT THE ZONING BOARD OF APPEALS RESERVES THE RIGHT TO REVOKE ANY PERMIT SHOULD THE INFORMATION CONTAINED HEREIN NOT BE TRUE AND CORRECT OR THAT INFORMATION REQUESTED BY THIS APPLICATION HAS NOT BEEN FULLY DISCLOSED.

Docusign by:

5246893750790454...
SIGNATURE OF OWNER
11/2/2025

DATE
Bavaro Beach LLC
Authorized Member

Docusign by:

5246893750790454...
SIGNATURE OF APPLICANT
11/2/2025

DATE
Bavaro Beach LLC
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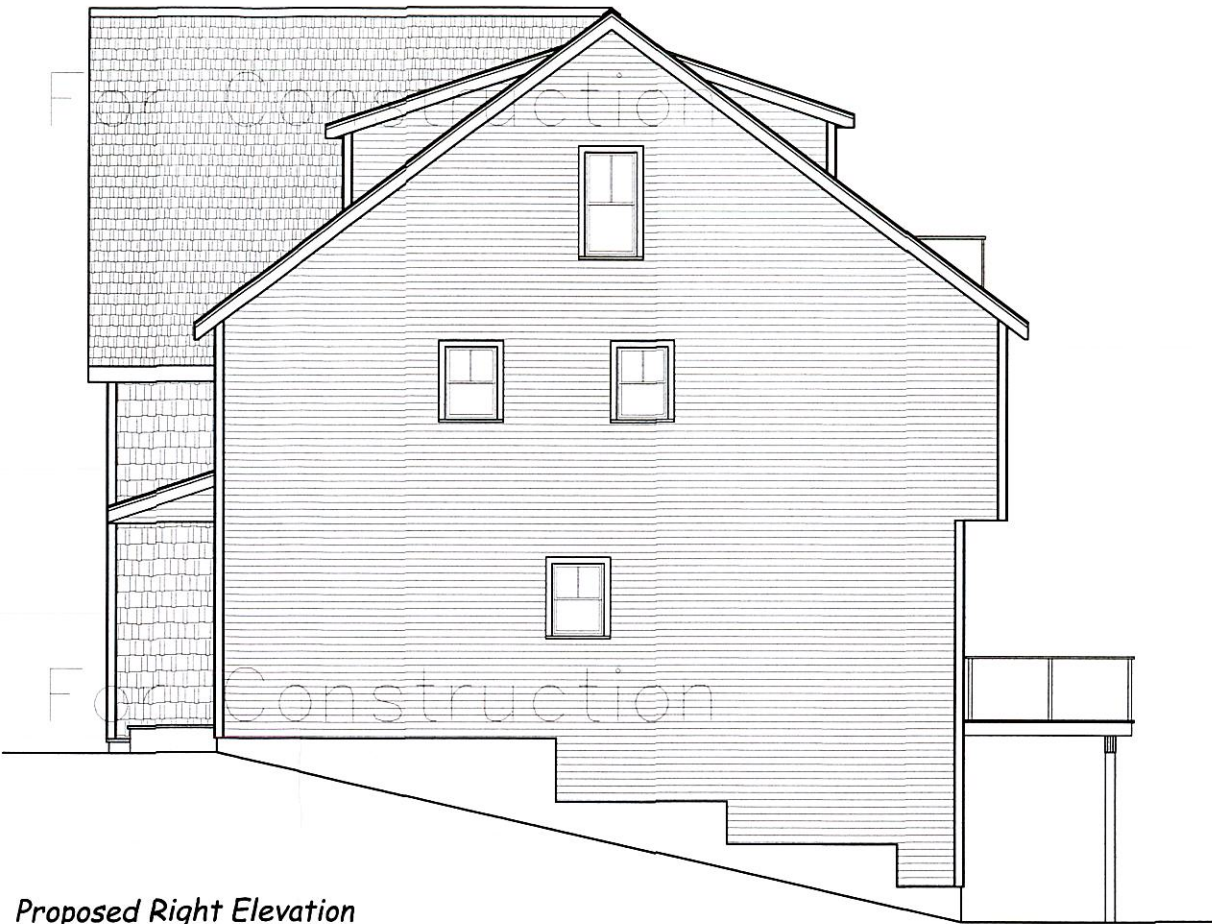
NOTICE: BY FILING THIS APPLICATION, OWNER AND APPLICANT CONSENT TO SITE INSPECTIONS BY CITY STAFF AND/OR COMMISSIONERS

Addendum
Bavaro Beach, LLC
792 Ocean Avenue
Existing Lot 1 Variance

5. Permit maximum building coverage variance of 31.2% where the maximum building coverage allowed is 20% and 19.8% exists.
6. Permit impervious coverage variance of 22% where 15% maximum impervious coverage is allowed and 12% exists.
7. Permit lot coverage variance of 53.2% where maximum lot coverage allowed is 35% and 31.8% exists.
8. Permit open space variance of 46.8% where the minimum open space required is 65% and 68.2% open space exists.



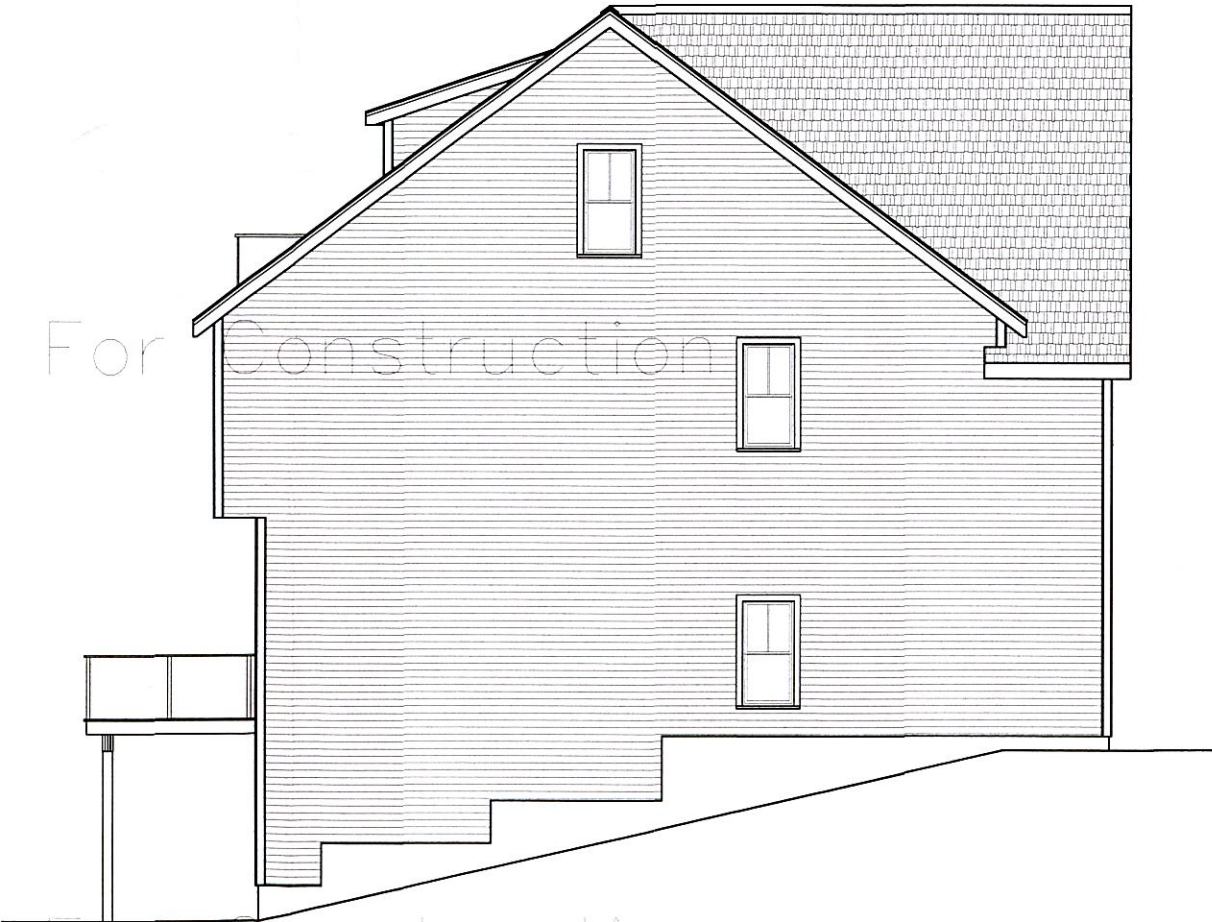
Proposed Front Elevation



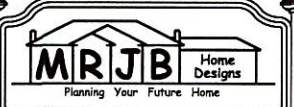
Proposed Right Elevation



Proposed Rear Elevation



Proposed Left Elevation



MRJB Home
Designs
Planning Your Future Home

New Construction
Additions-Renovations-Alterations

157 Sanford Road East
Southbury, Connecticut 06418
1-203-927-2528
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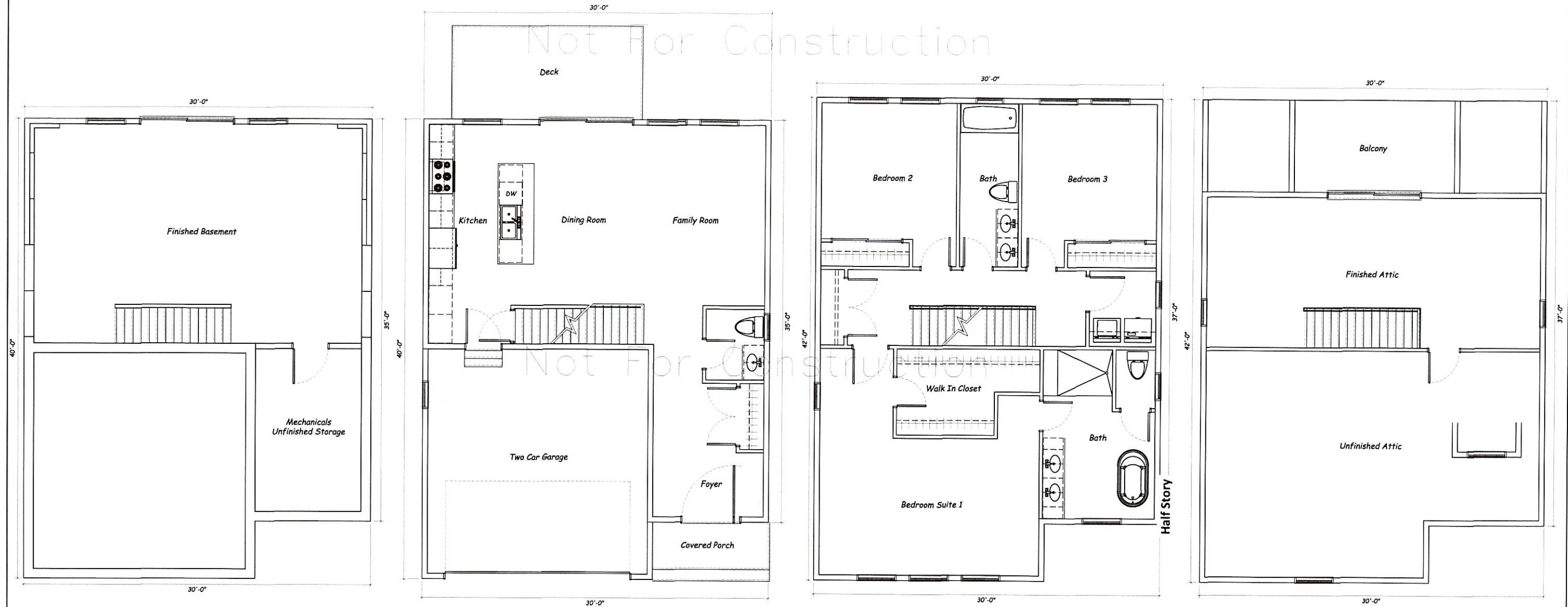
New Construction Plans For

BAVARO BEACH LLC
PROPERTY

792 Ocean Avenue - West Haven, Connecticut

PROJECT NUMBER: 2025 - 08 - 19 - B	DRAWING NUMBER:
DATE: August 21, 2025	A 01
DRAWN BY: M.R.J.B.	
CHECKED BY: M.R.J.B.	

0 1 2 3 4 5 6 7 8
GRAPHIC SCALE: 1/4"=1'-0"



Proposed Basement

Proposed First Floor

Proposed Second Floor

Proposed Half Story

Area Schedule		
Area	Finished	Unfinished
First Floor	755 sf	0 sf
Second Floor	1,210 sf	0 sf
Half Story	415 sf	555 sf
Basement	585 sf	155 sf
Total Area	2,965 sf	710 sf

MRJB Home Designs
Planning Your Future Home

New Construction
Additions-Renovations-Alterations
127 Sanford Road East
Southbury, Connecticut 06488
1-203-927-2528
mrjb-home-designs@sbcglobal.net

New Construction Plans For

BAVARO BEACH LLC
PROPERTY
792 Ocean Avenue - West Haven, Connecticut

PROJECT NUMBER: 2025-08-19-8
DATE: August 21, 2025
DRAWN BY: M.R.J.B.
CHECKED BY: M.R.J.B.

DRAWING NUMBER:
A 02

0 1' 2' 3' 4' 5' 6' 7' 8'
GRAPHIC SCALE: 1/4"=1'-0"



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ADDRESS 11 Wagner Place, West Haven, CT 06516

PHONE/EMAIL v.amendola@vnalaw.com

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HAS A PREVIOUS APPLICATION BEEN FILED FOR THIS PROPERTY?

- ☐ YES ☐ NO ☒ DON'T KNOW

IF YES, WHEN _____ ATTACH COPY OF DECISION LETTER

IS THE PROPERTY LOCATED WITHIN 500 FT OF ANOTHER TOWN ☐ YES ☒ NO

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(1) Permit lot size variance of 5400 ft.² where 16,000 ft.² is required and 10,800 ft.² exists. (2) Permit front yard set back variance of 20 feet where 30 feet is required and 51.7 ft. exists. (3) permit west side yard variance of 10 ft. where 15 ft. is required and 7.6 ft. exists (4) permit east side yard variance of 10 ft. where 15 ft. is required and 3.9 ft. exists;

THE STRUCTURE (S) IS EXISTING ☒ PROPOSED

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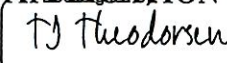
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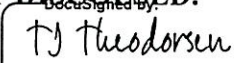
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Attest: Docusign ID: 524683750790454


524683750790454
SIGNATURE OF OWNER
11/2/2025

DATE
Bavaro Beach LLC
Authorized Member

Docusign ID: 524683750790454


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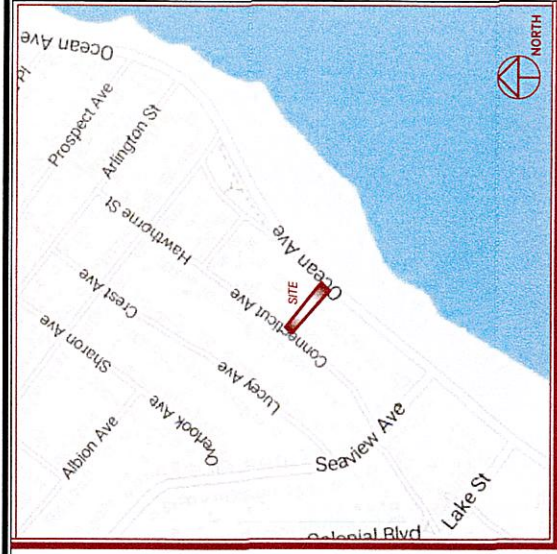
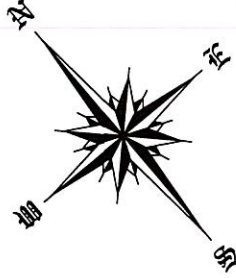
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Addendum
Bavaro Beach, LLC
792 Ocean Avenue
New Lot Variances

5. Permit a building coverage variance of 25.1% where the maximum building coverage allowed is 20% and 19.8% exists.
6. Permit street frontage variance of 50 feet where 80 feet is required.

STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED LOT # 2
Minimum Lot Area (Sq. Ft.)	16,000 Sq. Ft.	10,800 ± SF	5,400± SF
Maximum Lot Density (DU / 40,000)	1	1	1
Minimum Setback Street Line	30'	51.7'	20.0'
Min. Setback From One Side Property Line	15'	3.9'	10.0'
Minimum Rear Setback	30'	132.1'	45.7'
Maximum Building Coverage	20%	19.8%	25.1%
Maximum Impervious Coverage	15%	12.0%	7.6%
Maximum Lot Coverage	35%	31.8%	32.7%
Minimum Open Space	65%	68.2%	67.3%

BUILDING ZONE: R-2
* PROPOSED BUILDING HEIGHT TO BE MAXIMUM OF 35'



LOCATION MAP

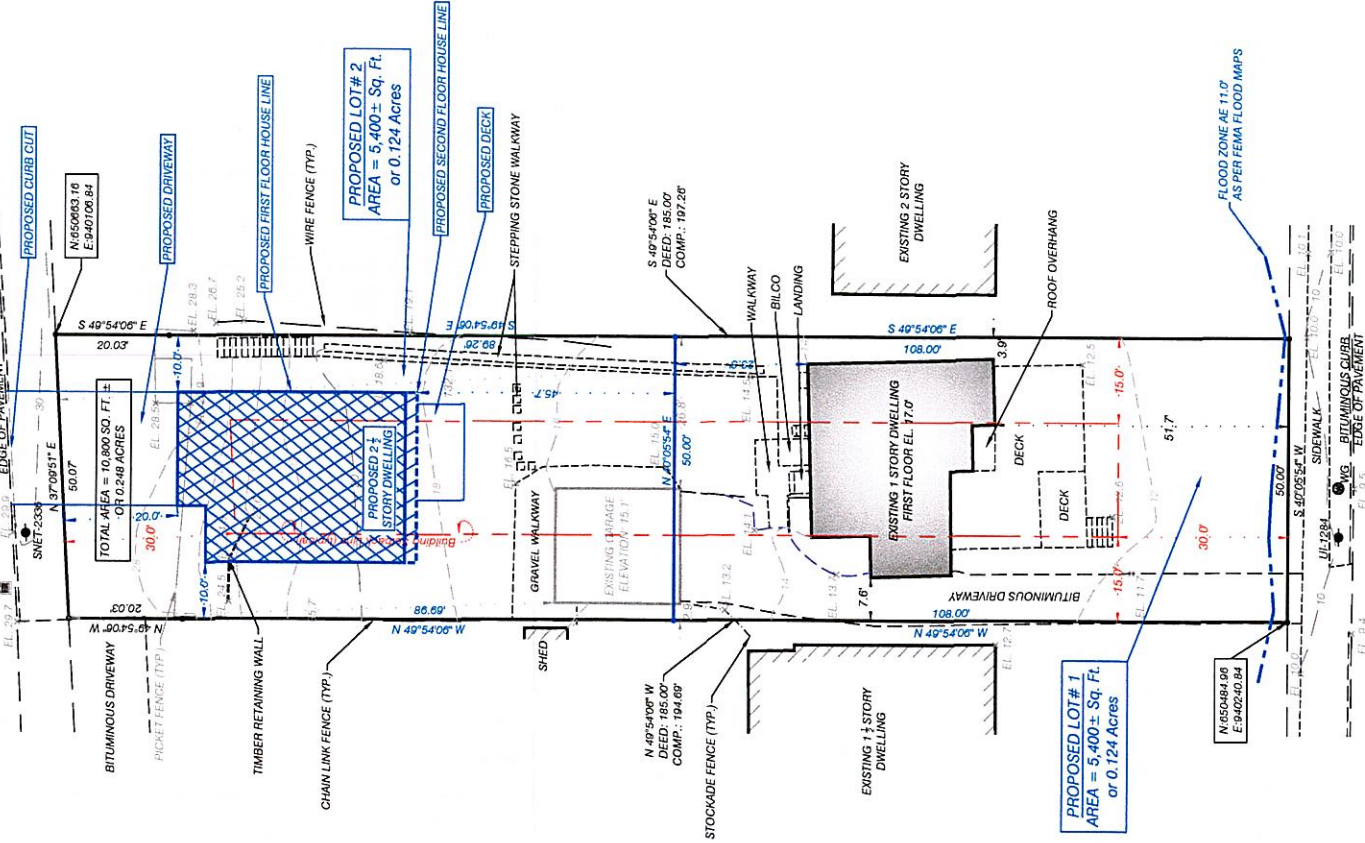
CONNECTICUT AVENUE

GENERAL NOTES:

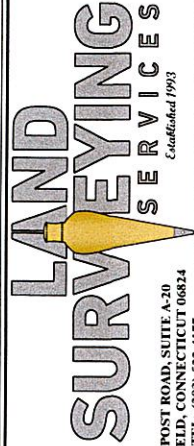
- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Connecticut State Plane Coordinates N.A.D 83.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by Town Sewer System and Public Water Supply.
- Partial of Property subject to Flood Zone AE 11' per FEMA Flood Insurance Rate Map, Community Panel Number 09009C552J Panel 552 out of 626.
- Elevations are based on N.A.V.D. Datum 1988.

MAP REFERENCES:

- RECORD MAP #539
- RECORD MAP #1284
- RECORD MAP #1380
- RECORD MAP #1715
- RECORD MAP #2133



OCEAN AVENUE



1275 POST ROAD, SUITE A-20
FAIRFIELD, CONNECTICUT 06424
TEL: (203) 522-4177
FAX: (203) 615-0123
EMAIL: INFO@ASURVEY.COM

JOB #	SEARCHED	FIELD	CREATED	PROPERTY	FILED	DATE
25183						

SURVEY IS NOT VALID UNLESS
EMBOSSED WITH SEAL OR FIED WITH
LIVE STAMP
TO THE BEST OF MY KNOWLEDGE
AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED
HEREON.

Ch. Jain

NEAL K. JAIN L.S. # 18139



DATE	REVISIONS
10-30-2025	REVISED PROP. POSITION
10-13-2025	LOT DIVISION

LOT DIVISION SURVEY
PREPARED FOR

BAVARO BEACH, LLC

792 OCEAN AVENUE, WEST HAVEN, CONNECTICUT
ASSESSORS MAP # 10 PARCEL # 430 ZONE: R-2



SCALE: 1" = 20'

DATE: APRIL 29, 2025



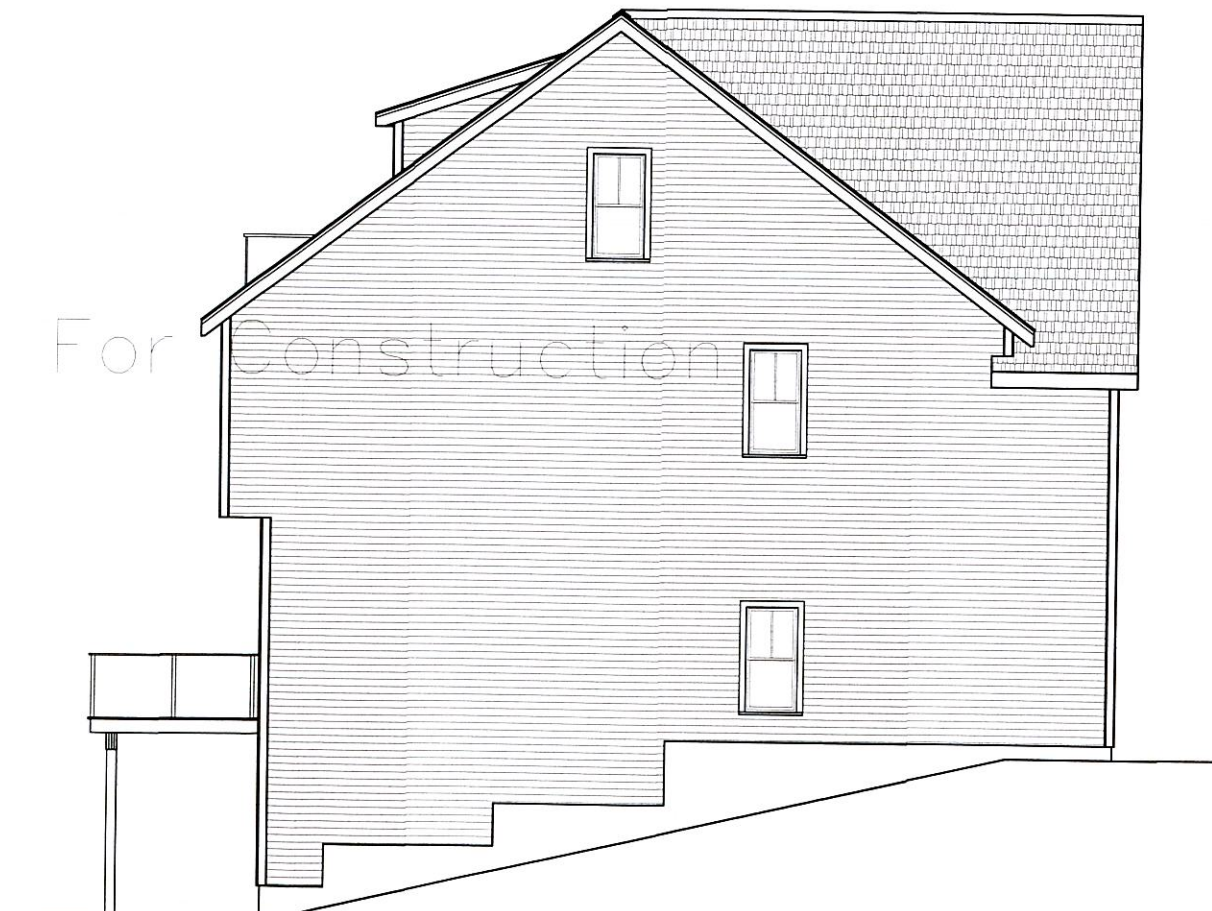
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Proposed Rear Elevation



Proposed Left Elevation

MRJB Home Designs
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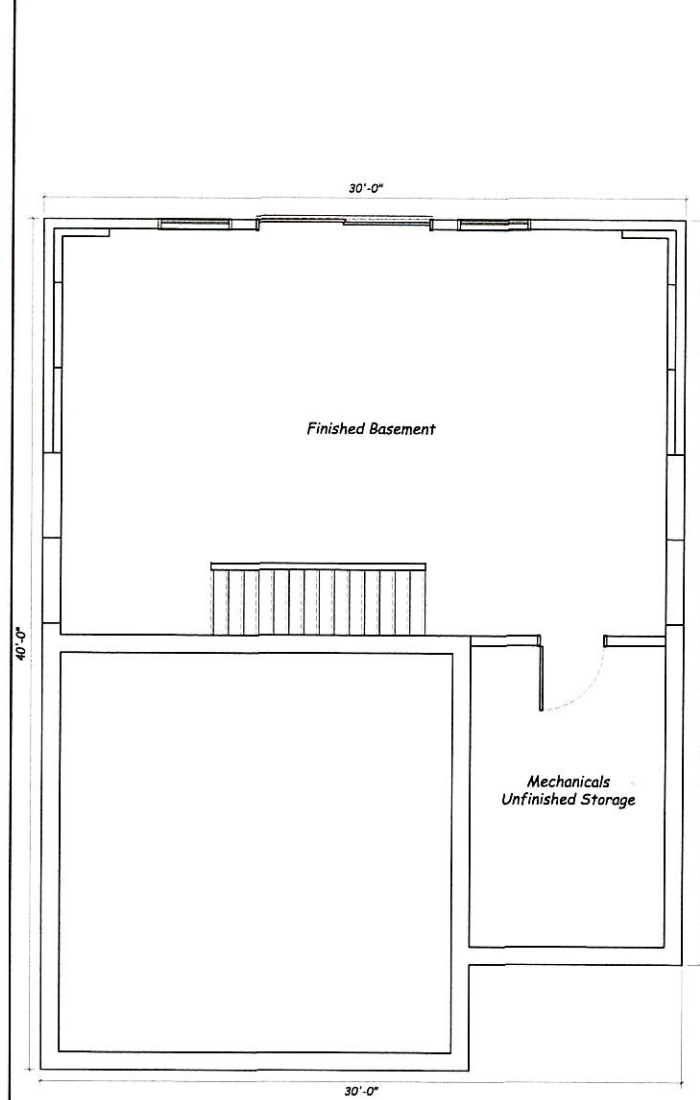
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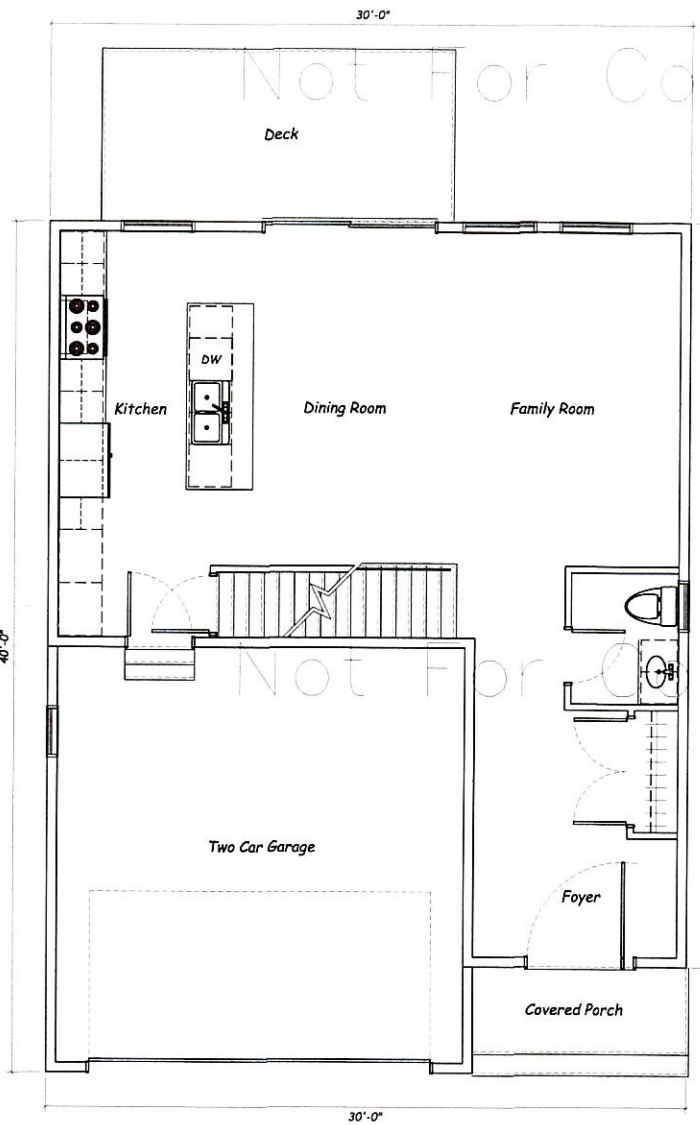
New Construction Plans For
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DRAWN BY: M.R.J.B. **A 01**
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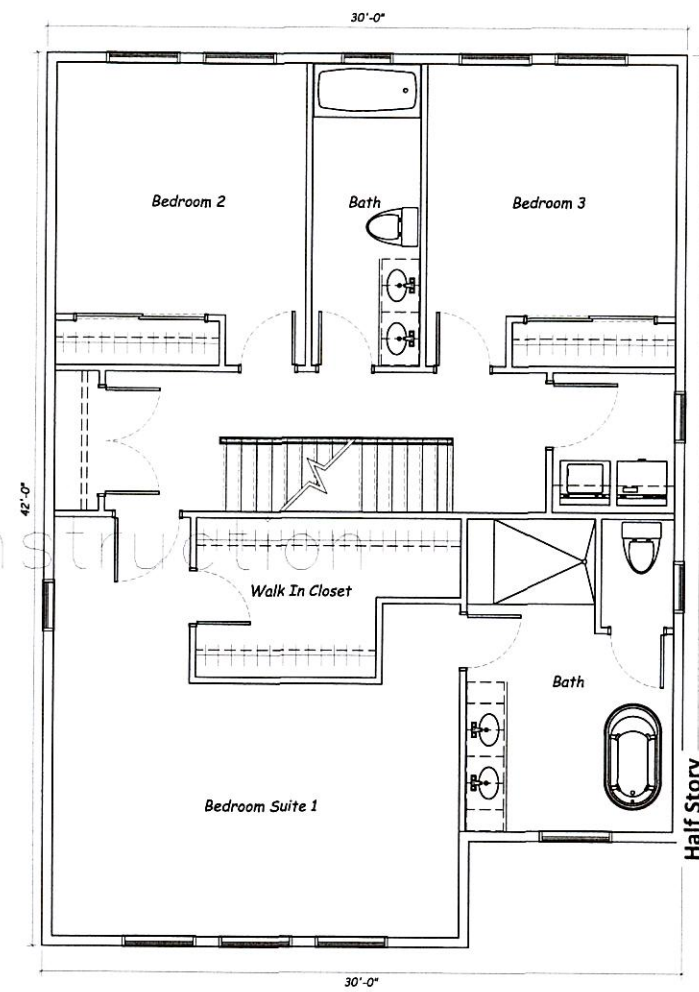
0 1 2 3 4 5 6 7 8
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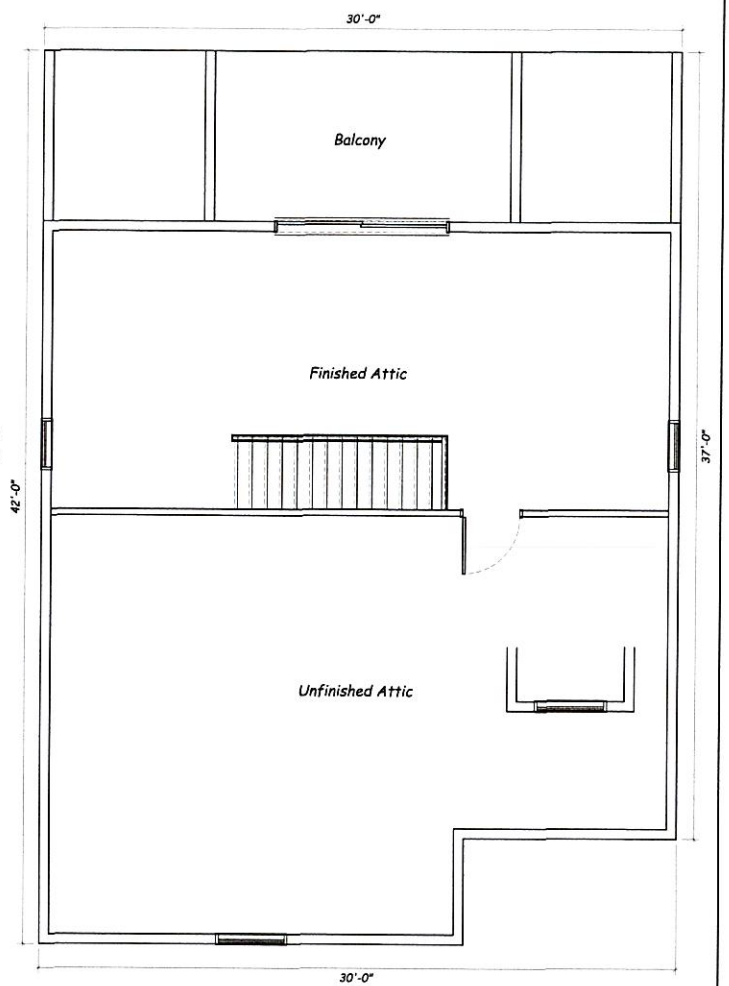
Proposed Basement



Proposed First Floor



Proposed Second Floor



Proposed Half Story

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New Construction Plans For

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PROPERTY

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PROJECT NUMBER: 2025-08-19-B DRAWING NUMBER:

DATE: August 21, 2025

DRAWN BY: M.R.J.B. **A 02**

CHECKED BY: M.R.J.B.

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